

ANNEXURE 'B'

ARCHITECTURAL GUIDELINES FOR THE DEVELOPMENT KNOWN AS OAKWOOD VILLAGE MOUNT OAKHURST ESTATE HOUT BAY

1. OUTLINE

- 1.1. The following represents the basic architectural and environmental guidelines for Oakwood Village, Mount Oakhurst Estate as laid down by the Seller (hereinafter called the "Developer"). These requirements are in addition to the Local Authority's building regulations, whose regulations take precedence where applicable. The Developer reserves the right to make any addition or alteration to these standards that in its opinion are necessary to preserve the architectural style and character of the Development. The Developer, in its entire discretion may grant waivers of any specifications where such waivers are considered justifiable and reasonable. Any additions or alterations to standards and granting waivers of any specifications as above mentioned, are subject to the consent of the Local Authority. All design plans for construction of houses must be prepared by registered architects, except in special cases with the approval of the Developer.

2. LANDSCAPING

- 2.1. Refer to the Environmental Management Plan
- 2.2. Natural conditions in terms of slope and vegetation are to be maintained as far as possible.
- 2.3. Natural barriers for privacy are encouraged and the planting of the trees, shrubs, and plants are to be in accordance with the Environmental Management Plan.

3. ORIENTATION

- 3.1. Due to the slope of the site and the orientation both being to the north, a building location on the higher southern areas of the erven will be required in terms of usage, views and privacy.
- 3.2. The location of buildings must be such that the views of neighbouring buildings on adjoining properties are not obstructed.

3.3. Building lines: Refer to site development plan on page 17.

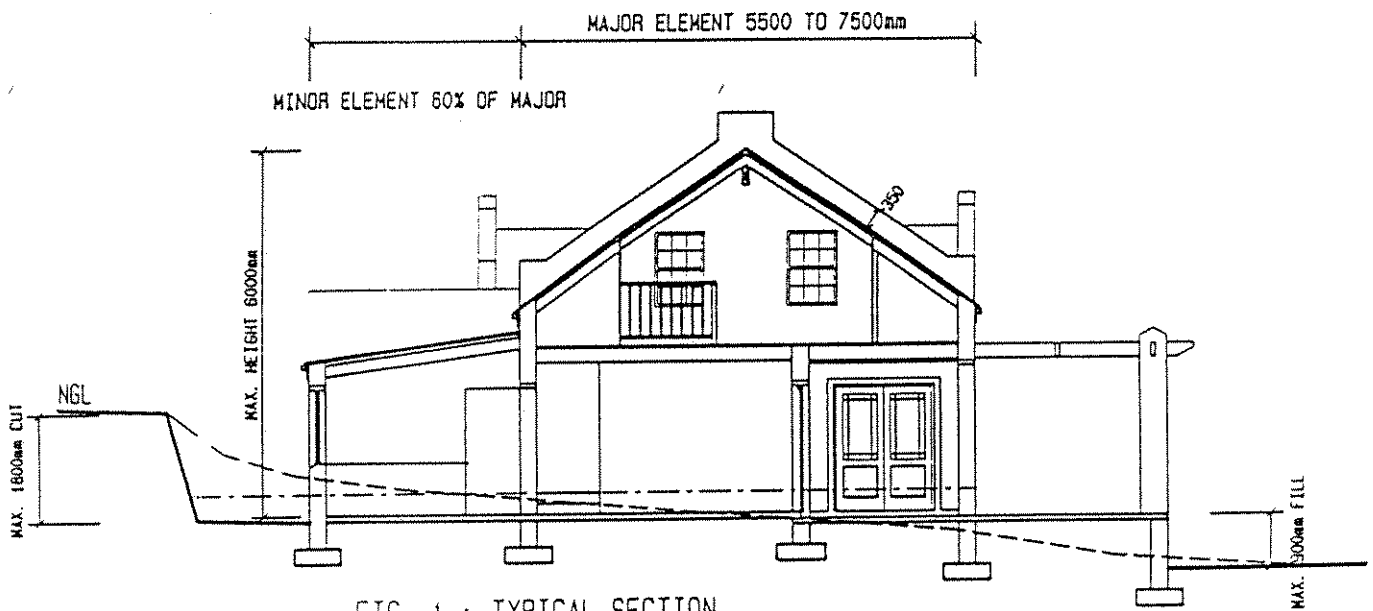
3.3.1. Erven 8633 – 8638 :	North boundary	-	2 meters (except erf 8633 which has a 5m setback)
	South boundary	-	1 meter
	East boundary	-	5 meters
	West boundary	-	4.5 meters
	Garages may be built with a 0 meter setback on the southern boundary, and patios and pergolas up to 3m from the eastern boundary.		
2 Erven 8690 – 8695 :	North boundary	-	15 meters (except erf 8695 which has a 5 meter setback)
	South boundary	-	4.5 meters
	East boundary	-	3 meters
	West boundary	-	2 meters
	Garages may be built with a 0 meter setback on the eastern and western boundaries.		
3.3.2. Erven 8696 – 8704 :	North boundary	-	10 meters except garages which may have a 5 meter setback.
	South boundary	-	3 meters
	East boundary	-	3 meters
	West boundary	-	3 meters (except 8704 which has a 4.5m setback)
3.3.3. Erven 8707, 8708, & 8710:	North boundary	-	5 meters
	South boundary	-	2 meters
	East boundary	-	3 meters
	West boundary	-	3 meters
3.3.4. Erven 8705, 8711 : 8712, 8713	North boundary	-	5 meters
	South boundary	-	4.5 meters
	East boundary	-	3 meters
	West boundary	-	3 meters (except erf 8705 which has a 4.5m setback)
3.3.5. Erven 8706 & 8709,	North boundary	-	3 meters
	South boundary	-	4.5 meters
	East boundary	-	3 meters
	West boundary	-	3 meters

3.4. ACCESS : See site development plan on page 17.

3.4.1. Erven 8633 – 8638:	Access off Grotto Way only.
3.4.2. Erven 8690 – 8695:	Access off the private service road only i.e. south entry to erven.
3.4.3. Erven 8696 – 8704:	Access off the private service road only i.e. north entry to erven.
3.4.4. Erven 8705 – 8713:	Access off the private service road only i.e. north entry to erven.

4. LEVELS & SETTING

- 4.1. Contours to be conformed to as far as possible when considering building levels.
- 4.2. Construction above ground level on exposed columns or piers will not be permitted
- 4.3. Exposed plinths to be a maximum of 900mm above finished ground level, with a maximum of 900mm imported fill above the natural ground level.
(Fig. 1)
- 4.4. Maximum cut of 1800mm below the natural ground level will be allowed.
(Fig. 1)
- 4.5. Only single levels, split levels and mezzanines are permitted, provided the height restriction is not exceeded
- 4.6. The Developer or his agent has the right to enter onto the property during construction to check any of the above levels, and setting out for the building lines, boundary walls, and general construction



5. ACCOMMODATION

- 5.1. Plans must not be square or rectangular in order to avoid designs which are too simplistic
- 5.2. The minimum undercover roof area to ground floor of dwellings should not be less than 180 square meters, except where the plot exceeds 1200m.sq. in extent, the undercover roof area shall be 15% of the site area.
- 5.3. The maximum coverage shall not be greater than 30% of the site area.
- 5.4. The maximum building height, i.e. to the roof apex, is 6,0m from the internal finished floor level. (Fig. 1)
- 5.5. House forms shall be made up of major and minor plan elements, and the width shall be controlled. Major elements shall be 5,5m minimum to 7,5m maximum wide. Minor elements should not be more than 60% of the major element's width. A continuous lean-to around corners from side walls to gable walls will not be permitted, and a lean-to will only be permitted on the southern side of the house. (Fig. 8)
- 5.6. Each house must have a double garage and private driveways must be paved in clay bricks, cobbles, or similar. Garages are to be either within the major element of the house or are to be separate, but are not allowed to butt up against the major element. (Fig. 5 and site location plan, fig. 2)
- 5.7. In order to preserve the natural vegetation and to protect trees which have been planted, stockpiling of building material will not be permitted in the road reserve during construction. (Refer to the Environmental Management Plan). Owners will be required to provide a deposit to cover possible damage to the roads and pavement areas.
- 5.8. See conceptual design drawings of a typical unit (attached) as a guideline. Pages 14, 15, & 16.
- 5.9. Swimming pool proposals must be submitted to the developer
- 5.10 Subsidiary equipment and pumps must be screened and unobtrusive.

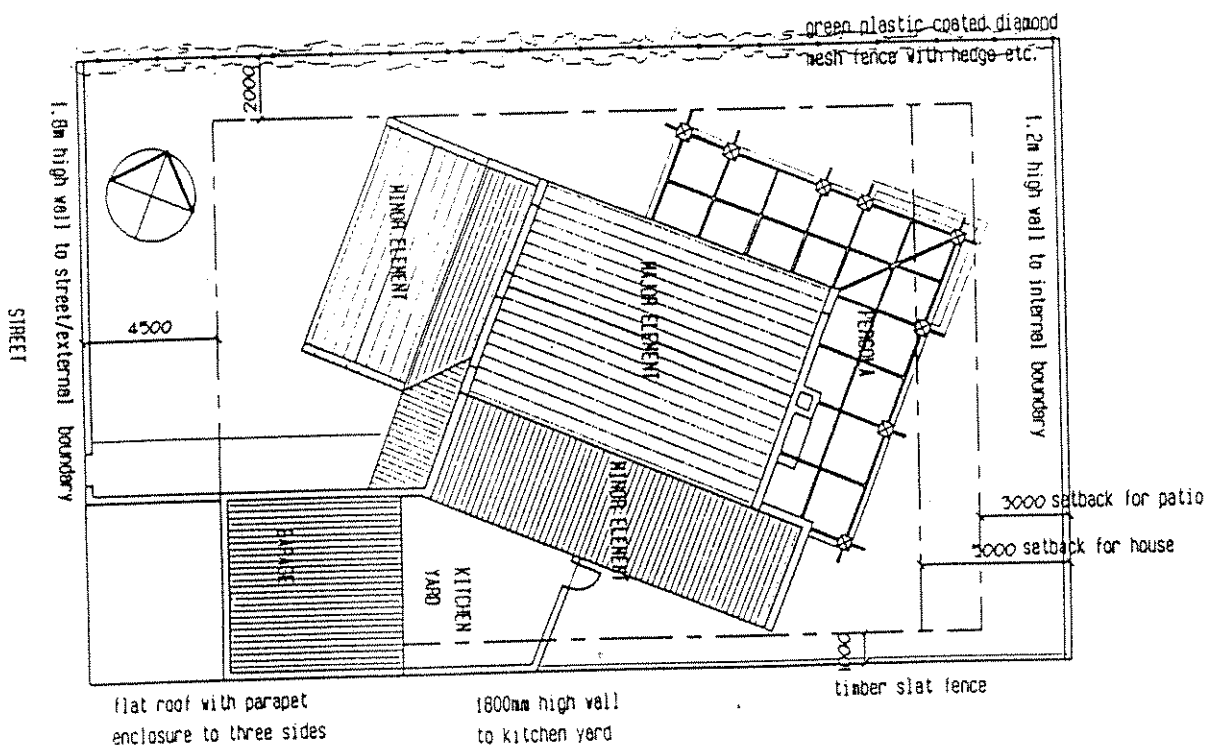


FIG. 2 : SITE PLAN

6. BUILDING CHARACTERISTICS

6.1. BOUNDARIES : See site development plan on page 17.

6.1.1. The design and construction of boundary, garden walls and/or fences are to receive careful attention in order to harmonize visually with the owner's house, adjoining properties and streetscape, and are to be constructed simultaneously with the erection of the house.

6.2. STREET BOUNDARIES

6.2.1. All boundary walls to be conventional 230mm thick brick or block construction only, plastered both sides and painted white. Such walls to be built constant in height to the natural ground level and to have a simple pointed coping. (Fig. 3).

6.2.2. External boundary walls must be built 1.8m high. These walls are to be built on the street boundaries to Grotto Way and the "pipe track" road.

6.2.3. Back of street curbstone to be used as datum - Developer to be consulted regarding the levels and profile of the coping as per detail below.

6.2.4. Internal boundary walls must be built 1.2m high and must be built to the following boundaries:

erven 8633 – 8638:	-	eastern boundaries and northern boundary to erf 8633,
erven 8690 – 8695:	-	northern and southern boundaries and western boundary to erf 8690,
erven 8696 – 8704	-	northern and southern boundaries and eastern boundary to erf 8696, and portion of western boundary abutting street.
erven 8705 – 8713	-	northern boundaries and eastern boundary to erven 8709, 8710, & 8713, and western boundary to erf 8711, except northern boundary of erven 8706 & 8709.

6.2.5. See examples of boundary walls as per the attached site plan. (fig 2)

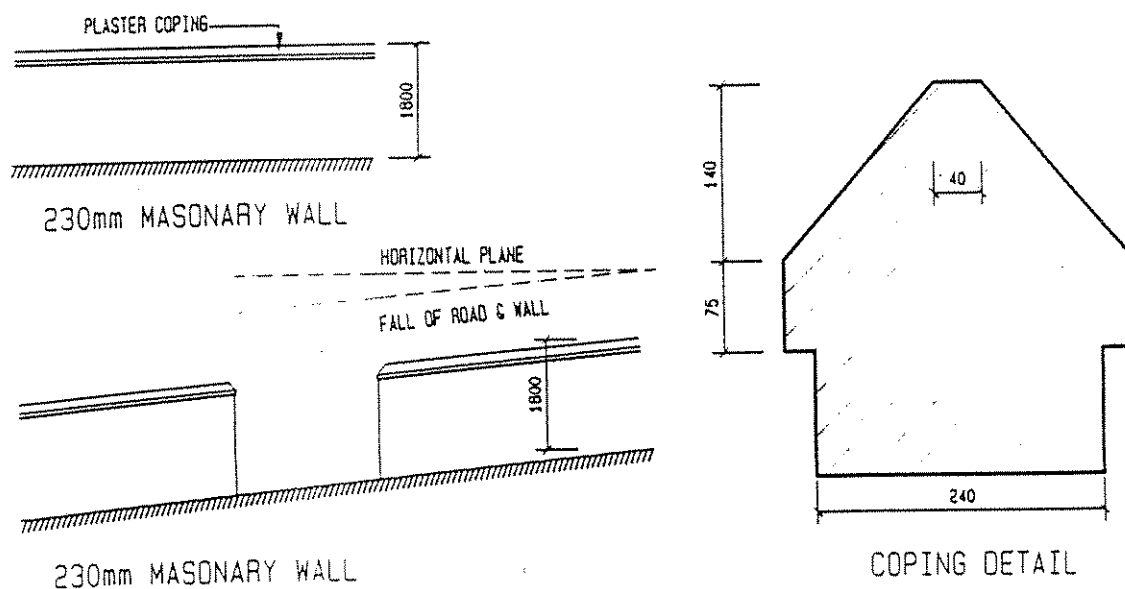


FIG. 3

6.3. SIDE, COMMON AND BACK BOUNDARIES

- 6.3.1. Conventional 230mm thick brick or block construction, built to a height of 1.2m.
- 6.3.2. Rectangular hardwood or suitably treated softwood slats. Slats to be close boarded and erected vertically to a height of 1.2m, with a varnish or tanalith treated finish. (Fig. 4)
- 6.3.3. Green plastic coated diamond mesh fencing with timber poles will be permitted for use on side /mutual boundaries on the condition that the owner proceeds immediately with the establishment of shrubs, hedges or other vegetation in order to create foliage to cover such fence. (Fig. 4)
- 6.3.4. The finish face of the slatted timber fence must face externally to the street or private open space.

NOT PERMITTED: Facebrick, precast concrete / prefabricated and fancy design walling systems, patterned or honeycomb brick walling, barbed wire, corrugated sheet metal walls or fences.

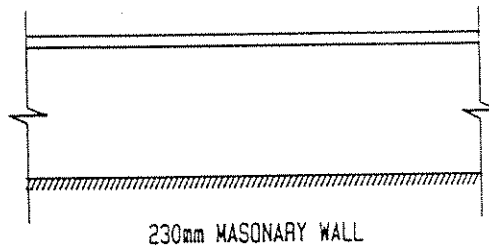
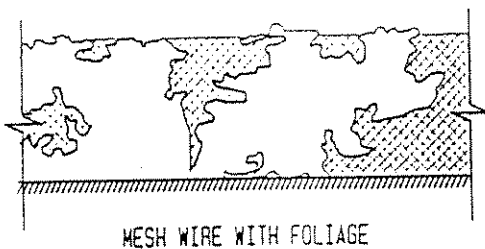
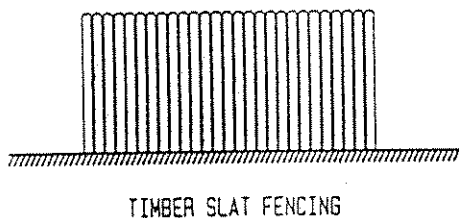


FIG. 4

6.4. EXTERNAL DWELLING WALLS

- 6.4.1. Walls to be constructed of conventional brick and mortar, smooth plastered with a painted white finish.

NOT PERMITTED : Facebrick and facebrick plinths, bagged brickwork, decorative plaster (Spanish etc.), painted fairface brickwork, timber log cladding, unpainted concrete.

6.5. PITCHED ROOFS

6.5.1. To be double pitched with a minimum pitch of 30 degrees and a maximum of 35 degrees for tiles and 45 degrees for thatch

6.5.2. Pitched roofs to be enclosed by parapets at gable ends and such parapets to be built to a finished height of min. 250mm and max. 300mm above roof level. (Fig. 5)

6.5.3. Roof ridge lines should preferably run in the direction of the contour lines. Should the ridge line be in the direction of the slope, broken / stepped roof lines are recommended for the eaves and/or ridges to reduce the height of the building at the lowest part of the site.

6.5.4. Height of main dwelling walls from finished floor level to underside of eaves to be between 2.8m and 3.6m. Height of walls to lean-to roofed areas to be between 2.4m and 2.8m. (Fig. 5)

NOT PERMITTED: Curved / decorative gables, hipped roofs, overhanging and projecting eaves.

6.6. FLAT ROOFS

6.6.1. Flat roofs are defined as having a slope of approximately 5 degrees and are only permitted in linking conditions or over garages and domestic quarters, and must be detached from the major element. Flat roofs over ancillary spaces will only be considered under special linking conditions by the developer. (Refer to note on lean-to on southern side of house only, pg. 4, Accommodation, item 5.5)

6.6.2. Flat roofs must be completely enclosed on three sides by parapet walls as described. (Fig. 5)

6.6.3. The exposed (gutter) side of a flat roof must not face the street boundary.

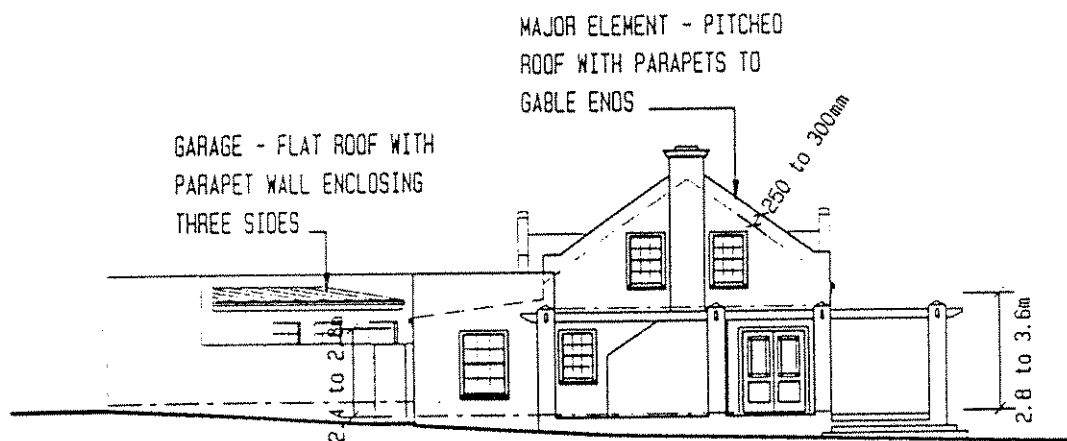


FIG. 5 : ELEVATION

6.7. MATERIALS

- 6.7.1. Slate in natural blue / grey colours only.
- 6.7.2. Clay or cement tiles - slate grey colour as per Coverland "Renown"
- 6.7.3. Thatch.
- 6.7.4. Longspan Cromadek 'S' profile only on flat roofs to garage / domestic quarters and colour to match roof of house - Cromadek 'Charcoal'.
- 6.7.5. Fibre-cement tiles - charcoal colour only.
- 6.7.6. Fascias to be timber only.

6.8. WINDOWS AND DOORS

- 6.8.1. Timber or aluminium windows and doors are to be used.
- 6.8.2. Timber to be either natural or painted, aluminium to be epoxy coated.
- 6.8.3. Painted or epoxy coated finishes to be either white or a combination of Oakhurst Green window frames with white opening sections.
- 6.8.4. Windows to be either square or rectangular. Heights of windows to be greater than width, the height to be not less than 1.20 meters except where used in kitchens and bathrooms. (Fig. 6)
- 6.8.5. Maximum window height to be 1,8m with window head built at max. 2,4m above finished floor level. Minimum cill height to be 600mm above FFL.
- 6.8.6. Heights of doors to be greater than width, with sliding doors allowed to be square. Maximum width of french doors to be 1,8m and sliding doors to be 2,4m. (Fig. 7)
- 6.8.7. Roof lights are to be flush with the roof plane and colours are to match roof colours. Rooflights are only permissible on the southern roof pitch.
- 6.8.8. Shutters are to be timber louvered, side hung and functional.

NOT PERMITTED: Steel windows and door frames, false shutters, decorative division panels, domer windows, round or triangular windows etc.

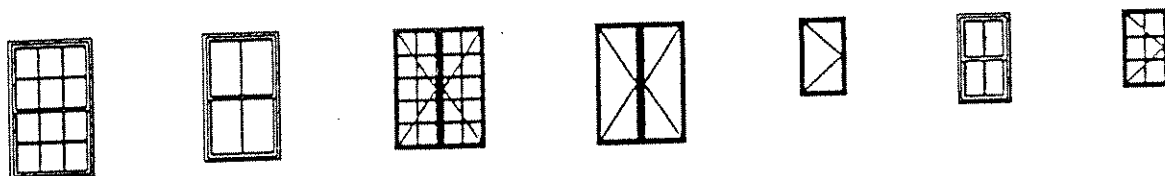


FIG. 6 : WINDOWS

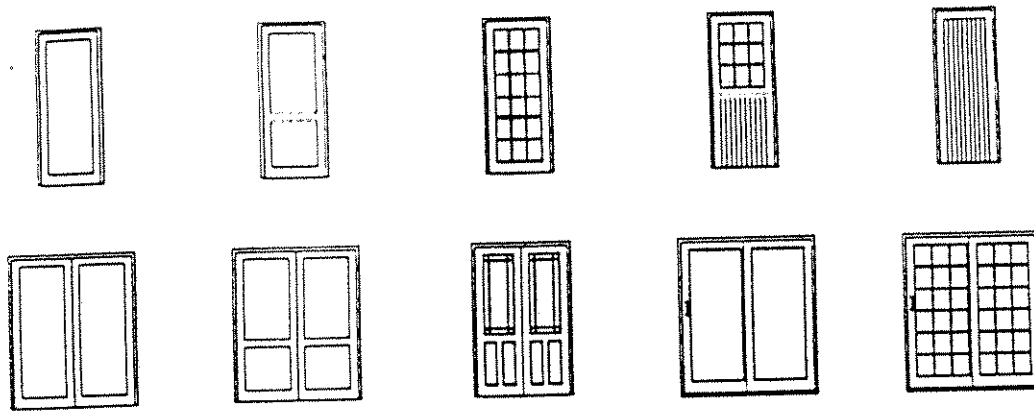


FIG. 7 : DOORS

6.9. GARAGE DOORS

6.9.1. Traditional tip up garage doors to be constructed of suitable hardwood timber and must have horizontal, vertical or diagonal planking. Garage doors to conform to the same painted finishes as for windows and doors.

NOT PERMITTED: Garage doors with fielded panels or other decorative designs, and constructed of steel, aluminium, and pvc. Doors may not be side hung or roller type.

6.10. GATES

6.10.1. Timber, to match garage doors as specified.

6.10.2. Metal, to be of simple design and to match colour scheme of dwelling.

6.11. BURGLAR BARS

6.11.1. To be constructed of square or round section steel and to be erected internally only

NOT PERMITTED: Fancy designs and divisions, concertina type burglar bars to windows (internally or externally).

6.12. YARDS

6.12.1. Yards are compulsory and are permitted to fall inside or outside the building line.

6.12.2. All yard walls i.e. kitchen, drying, courtyard, should be plain plastered 230mm thick, solid brick construction, with a plaster coping as per Fig. 3, painted to match the house and boundary walls.

6.12.3. Yard walls to be a minimum of 1,8 meters high and to provide adequate screening to dustbins, washing lines, gas bottles etc. (Fig. 8)-

6.12.4. Caravans, boats, trailers, commercial or derelict motor vehicles and general storage areas must not be visible from roads, other properties, and private and public areas.

6.12.5. Yard gates / doors to match garage doors.

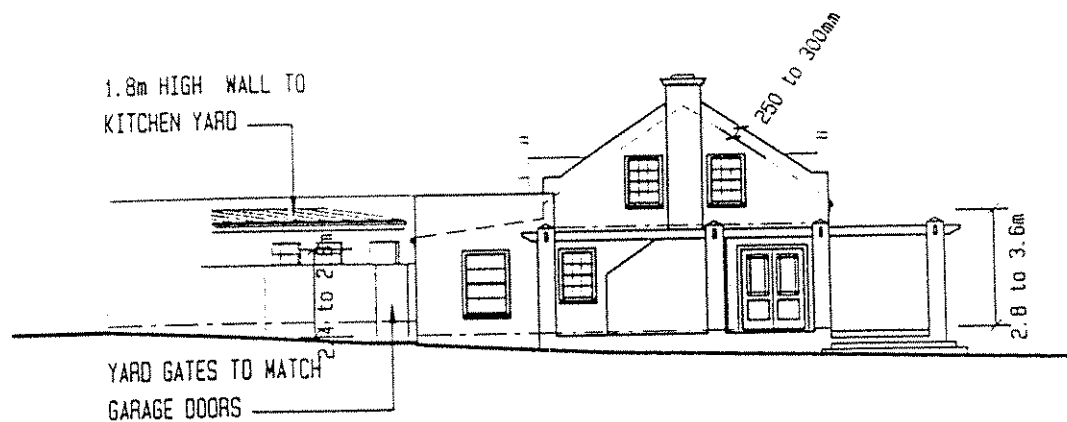


FIG. 8 : EAST ELEVATION

6.13. BALCONIES, VERANDAS AND TERRACES

6.13.1. Balconies to be plain wall construction plastered both sides and painted white, or timber with clean lines and plain railing as per Fig. 9.

NOT PERMITTED: Awnings, hoods and blinds to be either drop down, folding aluminium or galvanized iron type. Decorative, molded or patterned pillars and walls.

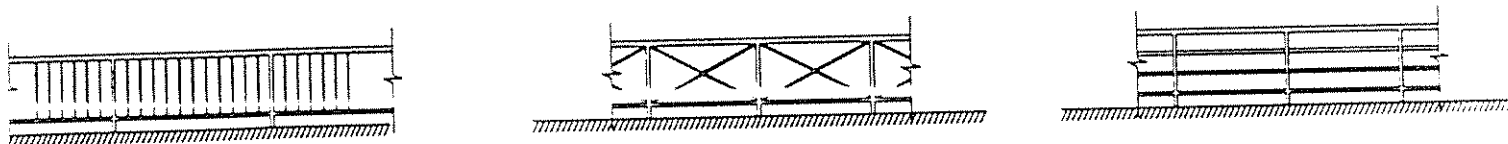


FIG. 9

6.14. CHIMNEYS

6.14.1. All chimney flues are to be constructed from masonry.

6.14.2. Metal chimney cowls are to be standard Jetmaster type.

NOT PERMITTED: Visible pipe flues, decorative metal chimney cowls

6.15. PERGOLAS

6.15.1. Traditional style veranda pergolas are required. (Fig. 10)

6.15.2. Pergolas should be constructed of planed timber on brick piers, painted to match the dwelling or natural varnished. Concrete screening beams will be permitted to enclose the pergola.

6.15.3. Climbing plants are to be encouraged to take over as shade provider.

NOT PERMITTED: Pipe columns or other steel sections. Corrugated sheet material of any kind over the pergola or shade cloth.

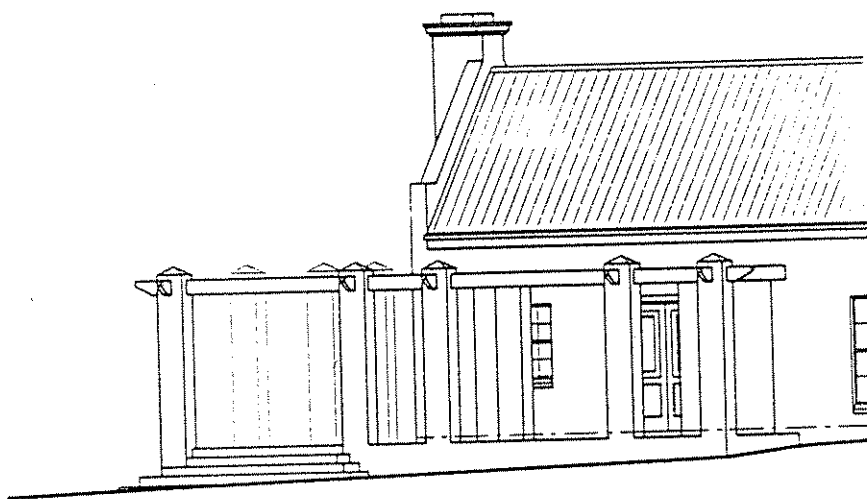


FIG. 10 : ELEVATION OF PERGOLA

6.16. AERIALS AND SOLAR HEATERS

6.16.1. Television and radio aerials must be unobtrusive and concealed as much as possible, and not permitted against chimneys. Approval of the positioning is to be obtained from the Home Owner's Association.

6.16.2. Solar heating panels must be flush with the roof, and tanks must be installed inside roof space.

6.17. SIGNS

6.17.1. House signs and street numbers to be of simple design and to be black, white or Oakhurst Green in colour.

7. MAINTENANCE

- 7.10. The owner shall maintain the property in a tidy condition, free from paper, plastic, glass bottles, tin or other debris. No dumping of rubble or removal of natural stone or material from the remainder of the land belonging to the Developer or any other neighbouring erven will be permitted
- 7.11. The property shall be kept free of alien vegetation at all times, and the removal of any existing trees on the property shall require the written permission of the Developer
- 7.12. All buildings on the property, including all walls, fences, gates and other structures, as well as gardens and courtyard areas exposed to public view must be maintained in a neat and tidy condition and in a good state of repair.

8. APPROVAL OF PLANS

- 8.10. Two copies of sketch design drawings of any building or alterations must be submitted to the Developer for approval and endorsement before working drawings are produced.
- 8.11. The sketch design drawings must be to scale and include a site diagram, plans, sections and elevations, indicating the materials and colours to be used. Should any changes occur during the drawing stage, these alterations in turn must be submitted to the Developer for approval and endorsement.
- 8.12. Two sets of the final plans must be submitted to the Developer for written approval and endorsement prior to the submission thereof to the Local Authority. Furthermore, the Home Owner's Association must endorse the building plans and state in writing that they conform to the architectural guidelines prior to the submission thereof to the Local Authority. In cases where the building plans do not conform, a clear motivation of the deviation needs to be submitted to the Local Authority.
- 8.13. The above submissions of plans allow for the scrutiny of plans and consultations by the Developer's agent of 5 hours, the cost of which will be borne by the Developer. Any additional consultations or site visits will be charged on a time basis of R350.00 per hour, all in accordance with the Architects Act, 1970 (Act No. 35 of 1970) as amended on 12 February 1999 : Notice Under Section 7 (3) (b) : Amendment of Tariff of Professional Fees.

9. TIME SCHEDULE

- 9.10. Building construction must be completed within four years of registration of first transfer, i.e. from the Developer. Once construction has commenced, building must continue uninterrupted to be completed within 12 months from the date of commencement. It is an express condition of this agreement that no dwelling shall be inhabited until construction has been fully completed in accordance with the Developer's specification and the approved plans. The Developer reserves the right to impose a penalty should this condition not be complied with.
- 9.11. The Developer reserves the right, without prejudice to its other legal rights and remedies and the right to claim damages, to require such changes in designs as may be needed in its opinion to preserve the style of the architecture.

10. ACKNOWLEDGMENT AND UNDERTAKINGS BY PURCHASER

The Purchaser acknowledges that he is aware that the property hereby sold forms part of Oakwood Villiage, Phase1 of the phased development, Mount Oakhurst Estate, Hout Bay, and that he has read and fully understands the contents of Annexure "B"

Note: Although every effort has been made to ensure accuracy of this document, the developer makes no guarantee, representation, or warrantee with regard to content, and no liability will be accepted for any errors.

AMENDMENTS TO ANNEXURE 'B' - ARCHITECTURAL GUIDELINES (HEREINAFTER REFERRED TO AS THE DESIGN MANUAL) FOR THE DEVELOPMENT KNOWN AS OAKWOOD VILLAGE, COMMONLY KNOWN AS OAKWOOD CAPE COUNTRY ESTATE

The process of scrutiny of the building plans by the Developer and Resident Architect has highlighted some areas where the Design Manual requires amendment to suite a more contemporary lifestyle. Accordingly, the following amendments and additions are introduced and apply to the following clauses embodied in the Design Manual (Annexure B):

6.2 STREET BOUNDARIES

- With exception of the electric fence which has been affixed to the estate's perimeter boundary wall, no other height extensions are permitted to boundary / garden walls on properties on the estate or on the perimeter, e.g. add on latte / lattice panels or similar, spikes, brackets, electric fences, etc.
- In the event that an owner wishes to erect a barrier to contain domestic animals / pets (e.g. dogs) a fence conforming to specification may be erected 1.00m inside the low boundary wall (also known as the 'werfmuur') on a property on condition that the owner proceeds immediately with planting shrubs between the fence and the wall which will grow to a height to eventually conceal the fence.

6.4 EXTERNAL DWELLING WALLS

- Surface mounted conduits, electrical cables, trunking and any other unsightly pipes which service air conditioners and any other appliances attached to external walls are to be avoided.

6.7 MATERIALS

- Gutters and rainwater goods are compulsory except in the instance of a thatch roof.

6.8 WINDOWS AND DOORS

Sliding and sliding – folding doors

- At the sole discretion of the Developer and Resident Architect, one only 3,50m wide sliding patio door is permitted per facade (by way of explanation, a facade is that part of the building fully viewed from the north, south, east or west). Note that doors in gables / gable ends may not exceed 2,40m in width.

- Further to the above, up to a 5,00m wide sliding folding door is permitted in lieu of the 3,50m wide door provided that it is in the north façade of the major element and it is set back from the external face of the dwelling, i.e. it must be recessed as in the case of a portico or undercover patio. Door leafs are not to exceed 900mm in width.
- Colour Matt Black Bronze ANP 9052 is also permitted for aluminium doors and windows.

Roof windows

- Only Tony Sandell roof windows are permitted, to be fitted flush with roof covering and to match colour of roof. Roof lights are not permitted on the north facing plane of a roof.

6.13 BALCONIES, VERANDAS AND TERRACES

Juliette balconies

Juliette balconies are permitted on first floors provided that they:

- don't project or overhang the external face of the building and
- don't face directly onto a neighbours living space.

Railings must be flush with the external face of the building and simple in design.

Awnings

The traditional pergola constructed of solid timber and supported by white painted masonry columns is an important element which contributes to the defining character of the 'Cape Architecture' of Oakwood. It is important to give careful consideration to the fixing of awnings to pergolas so that the end result does not detract from its clean, simple appearance. For this reason the Design Manual states that awnings, hoods and blinds of the drop down, folding and aluminium/galvanised iron types are not permitted.

However, pergola awnings are now permitted, provided they strictly conform to the following specification:

Pergola awning specification:

- Description: To be a sliding, retractable awning which is fitted to the underside of the pergola structure by Elliot Awnings or another.
- Fabric: Dickson Constant's Acrylic Canvas guaranteed for five years against rotting and fading. Colours to be 6687 (Forest Green), 7100 (Tweed Green) or 6020 (Cream).
- Valance design: Straight.

- Slide System: Aluminium powder / epoxy-coated track finished white or green. Trolleys used in tracks to be UV stabilised and attached to the awning with stainless steel saddles.
- Fasteners: Stainless steel screws and coach screws.
- Controls: All rope used must be polyester braid. Double-sided mount control block pulleys to be stainless steel as well as the single back and side mounted pulleys. Double control rope pulleys to be cast aluminium, and to be attached to a powder / epoxy coated aluminium bracket with stainless steel control hooks.
- Frame: Actual "framework" of awning to be hardwood baton and 25mm aluminium tubes within pockets (canvas).

Vertical roller blind specification:

- the installation of a vertical roller blind system is permitted to one end of the pergola only to serve as a privacy screen from an adjoining neighbour or as a wind break, where justified.
- the mechanism is to be fitted to the inside of the timber beam or in the case of a portico, fixed to the inside of the lintel / beam so that it is not visible externally.
- translucent PVC windows are strictly not permitted.
- vertical roller blinds are not permitted to be fitted to the north-facing side or major opening of a pergola, patio or portico so as to prevent the entire area from being enclosed.
- a plan must be submitted to the Developer and Resident Architect for written approval indicating the positions and specification of the awnings / roller blind that a member proposes installing.

6.15 PERGOLAS

- latte or 38 x 38mm PAR battens with gaps may be fixed to the underside of the rafters in such a manner that they do not protrude from beneath the fascia beam. No shade cloth / net awnings, translucent or other sheeting is permitted.

Undercover patios

An undercover patio is permitted provided that:

- It is built behind a concrete fascia beam which is not less than 650mm deep (i.e. the height of the beam). The top of the beam and finished height of the roof covering may not be higher than the underside of the fascia of the dwelling.
- It is not positioned in front of any gables.
- It is not deeper than 60% of the major element.
- It is not longer than twice its depth.

- Only one is permitted per dwelling.
- Its floor area is excluded in determining the minimum undercover floor area as set out in Clause 5.2 of the Design Manual. However, where maximum undercover floor area has been reached in terms of Clause 5.3 of the Design Manual, an undercover patio may be permitted at the discretion of the Developer and Resident Architect if appropriate, provided its coverage does not exceed an additional 36 sq m.
- No portion of the above structure may project beyond the end wall of a dwelling or around corners from side walls to gable walls.
- It is not enclosed and become a habitable space.

The following types of coverings are permitted to these roofs:

- Corrugated 's' profile pre-painted metal roof sheeting as supplied by the manufacturer, concrete or marine ply with malthoid, painted to match colour of roof. Gutters and downpipes are to be concealed.
- Tony Sandell Roof Windows are permitted to be built into these roofs provided that their glazing remains in the same plane as the roof and does not protrude above the fascia beam. No domed / pyramid roof windows or translucent sheeting are permitted.

6.16 AERIALS AND SOLAR HEATERS

Solar heating systems

- Solar panel/s are to be finished flush with the roof tiles.
- Solar panel/s are to be of the flat plate type with a tempered glass cover.
- Tanks are to be installed inside the roof space and to be out of sight.
- All pipes servicing the system are to be concealed and where exposed for short distances, are to match the colour of the roof tiles.
- All metal sections of the solar panel/s are to match the colour of the roof tiles i.e. black, grey or charcoal
- Solar panel/s are to be approximately 2,00m long x 1,00m wide and are to be installed in a vertical direction against the roof tiles.

Note that the appearance of any external structure on Oakwood Cape Country Estate may not be altered without the written approval of the Developer.